

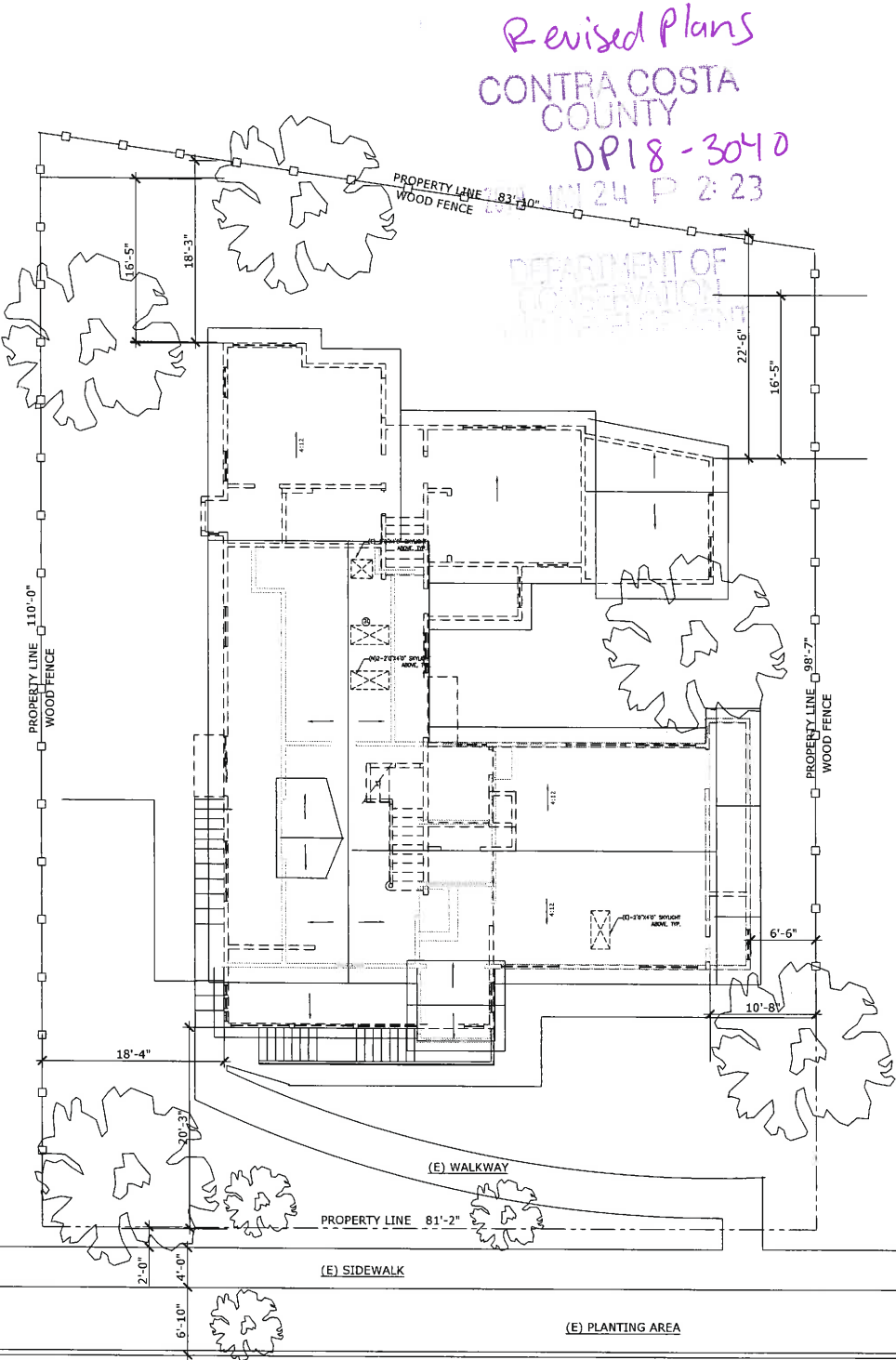
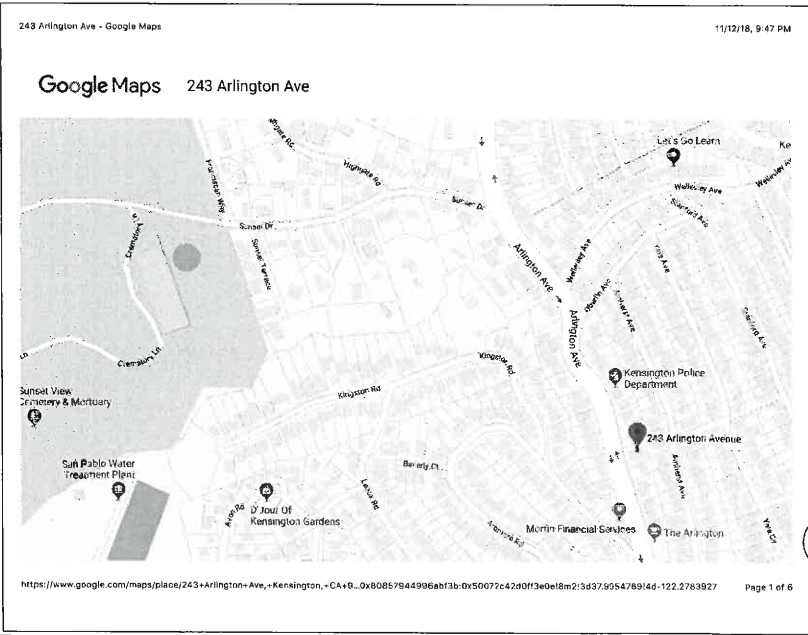
# HOUSE INTERIOR REMODEL


243 ARLINGTON AVE  
KENSINGTON, CA 94707

## ABBREVIATIONS

&	AND	N.T.S.	NOT TO SCALE
@	AT	NO.	NUMBER
A.B.	ANCHOR BOLT	O.C.	ON CENTER
BM.	BEAM	OPP.	OPPOSITE
BOT.	BOTTOM	O.H.	OPPOSITE HAND
B.O.	BOTTOM OF	O.D.	OUTSIDE DIAMETER
CL	CENTER LINE	PL	PLATE
COL.	COLUMN	PLY.	PLYWOOD
CONT.	CONTINUOUS	P.T.	PRESSURE OR PRESERVATIVE TREATED
CLR	CLEAR	REINF.	REINFORCEMENT
CONC	CONCRETE	REQ'D	REQUIRED
CONN	CONNECTION	REV	REVISED OR REVISION
DET.	DETAIL	SQ.	SQUARE
D.F.	DOUGLAS FIR	SF	SQUARE FEET
D.S.	DRAG STRUT	STAGG	STAGGERED
(E)	EXISTING	STD	STANDARD
EXT	EXTERIOR	STL	STEEL
FL.	FLOOR	STIFF	STIFFENER
FTG.	FOOTING	STRUCT	STRUCTURAL
FT	FEET	S.W.	SHEAR WALL
FLR	FLOOR		
GALV	GALVANIZE	T&B	TOP AND BOTTOM
GA	GAUGE	T&G	TONGUE AND GROOVE
GR	GRADE		

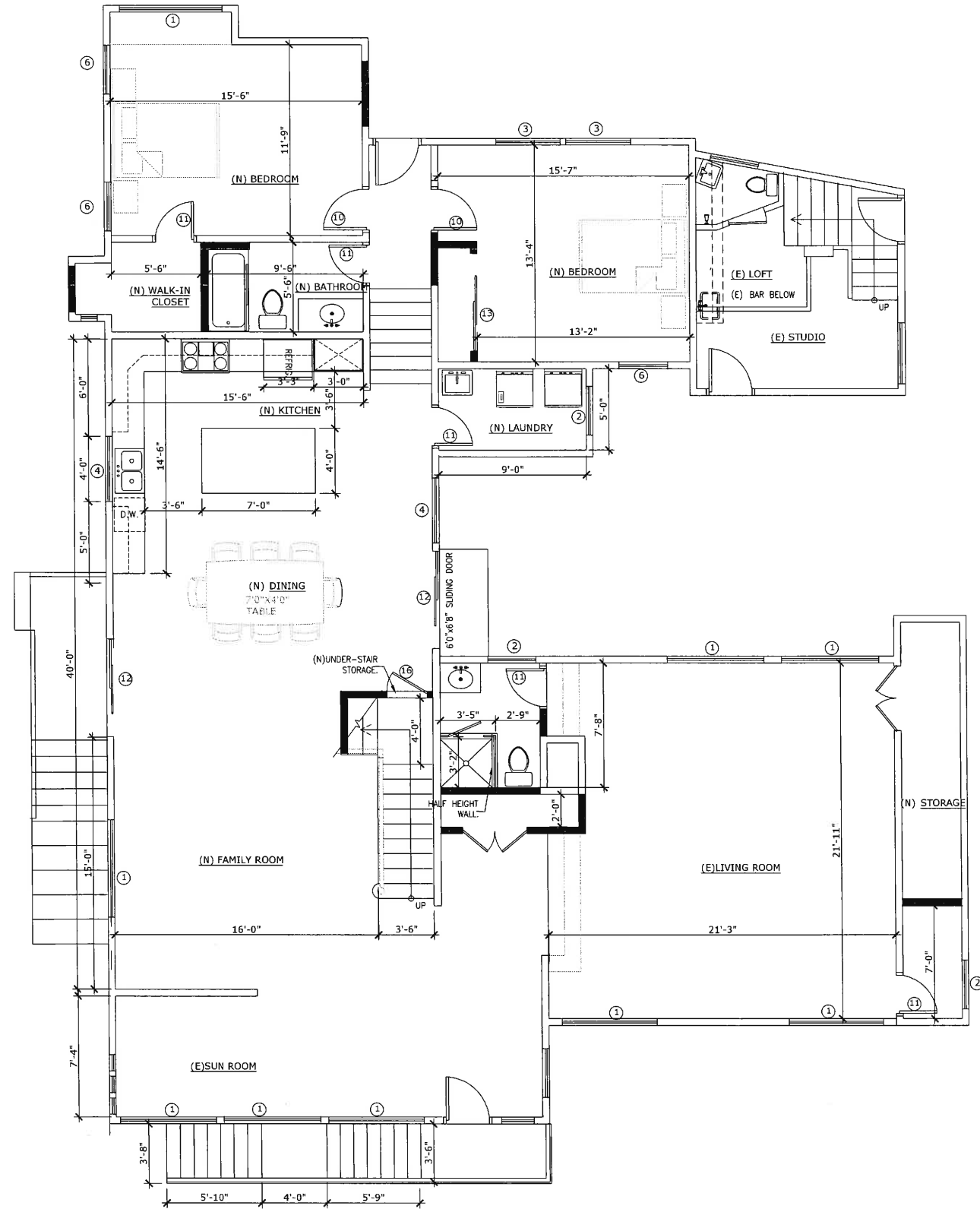
## VICINITY MAP



GOVERNING CODES ('Code')		PROJECT DIRECTORY	AREA CALCULATIONS			SHEET INDEX	ARLINGTON AVE.		
California Fire Code California Building Code California Residential Code California Mechanical Code California Plumbing Code California Electrical Code Energy Efficiency Standards	2016 Edition 2016 Edition 2016 Edition 2016 Edition 2016 Edition 2016 Edition (Title 24)	<b>Owner</b> SHELLY OUYANG 243 ARLINGTON AVE KENSINGTON, CA 94707 (510)229-8166  <b>Civil Engineer</b> KEVIN G. WANG 303 SACLAN CT CLAYTON, CA 94517 (510) 304-9812 Business gsengineering2000@gmail.com	ITEM	EXISTING	PROPOSED	A1.0 TITLE SHEET AND SITE PLAN A2.0 EXISTING/PROPOSED 1st FLOOR PLANS A2.1 EXISTING/PROPOSED 2nd FLOOR PLANS A3.0 EXISTING/PROPOSED LEFT & RIGHT ELEVATIONS A3.1 EXISTING/PROPOSED FRONT ELEVATIONS, EXISTING REAR ELEVATION A4.0 1st FLOOR & 2nd FLOOR ELECTRICAL PLANS	1 SITE PLAN	SCALE: 1/8"=1'-0"  NORTH	
			LOT AREA (sf)	8,424 sf	NO CHANGE				
			NUMBER OF UNITS	1 UNIT	NO CHANGE				
			STORIES	2	NO CHANGE				
			BLDG SQUARE FOOTAGE (GROSS FLOOR AREA sf)	SECOND FLOOR: 1280 sf	NO CHANGE				
				FIRST FLOOR: 2,816 sf	INTERIOR LIVING: 2,480 sf				2,650 sf
					PATIO w/ROOF: 120 sf				NOTE: 1.(E)PATIO w/ROOF TO BE DEMOLISHED 2.(E)LAUNDRY TO BE DEMOLISHED(46 sf)
					STUDIO :186 sf				
					ENTRY COVERED PORCH DECK:30 sf				
			INNER COURTYARD: 320 sf	440 sf					
FLOOR AREA RATIO: 46.65%									
SITE COVERAGE RATIO:30.24%									
SCOPE OF WORK						BUILDING DATA			
1.REMODEL ENTRY DOOR WOOD STAIR 2. REMODEL EXISTING LIBRARY AND (E) DEN AREA TO BE TWO BEDROOMS, ONE BATHROOM, AND ONE WALK-IN CLOSET. 3. CONVERT ONE (E) BATHROOM TO ONE LAUNDRY. 4. REMOVE ONE (E)STAIR, AND CONVERT STAIR SPACE TO CLOSET/STORAGE ON THE FIRST/SECOND FLOOR. 5. ADD ONE NEW STAIR FROM (E) FAMILY ROOM AREA TO THE SECOND FLOOR MASTER BEDROOM. 6.REMOVE ONE (E) PATIO EXTERIOR WALL, ONE EXISTING LAUNDRY, AND ONE EXISTING STAIRS AT THE (E) DINING AREA. 7.RELOCATE ONE (E) BATHROOM TO THE HALLWAY AREA. 8. REPLACE 20 EXISTING WINDOWS AND ADD 4 NEW WINDOWS AND ADD ONE SLIDING GLASS PATIO DOOR FOR THE FIRST FLOOR. 9. ADD TWO 2x4 SKYLIGHTS ON THE SECOND FLOOR ROOF.						APN:570-050-027 ZONING CODE: R TYPE OF CONSTRUCTION: V-B STORIES: 2 BASEMENTS: 0  UNITS: 1 USE: RESIDENTIAL DWELLING OCCUPANCY: R3  SPRINKLERS: NO			
						TITLE SHEET, SITE PLAN			
						SHEET NUMBER			
						A1.0			



2 EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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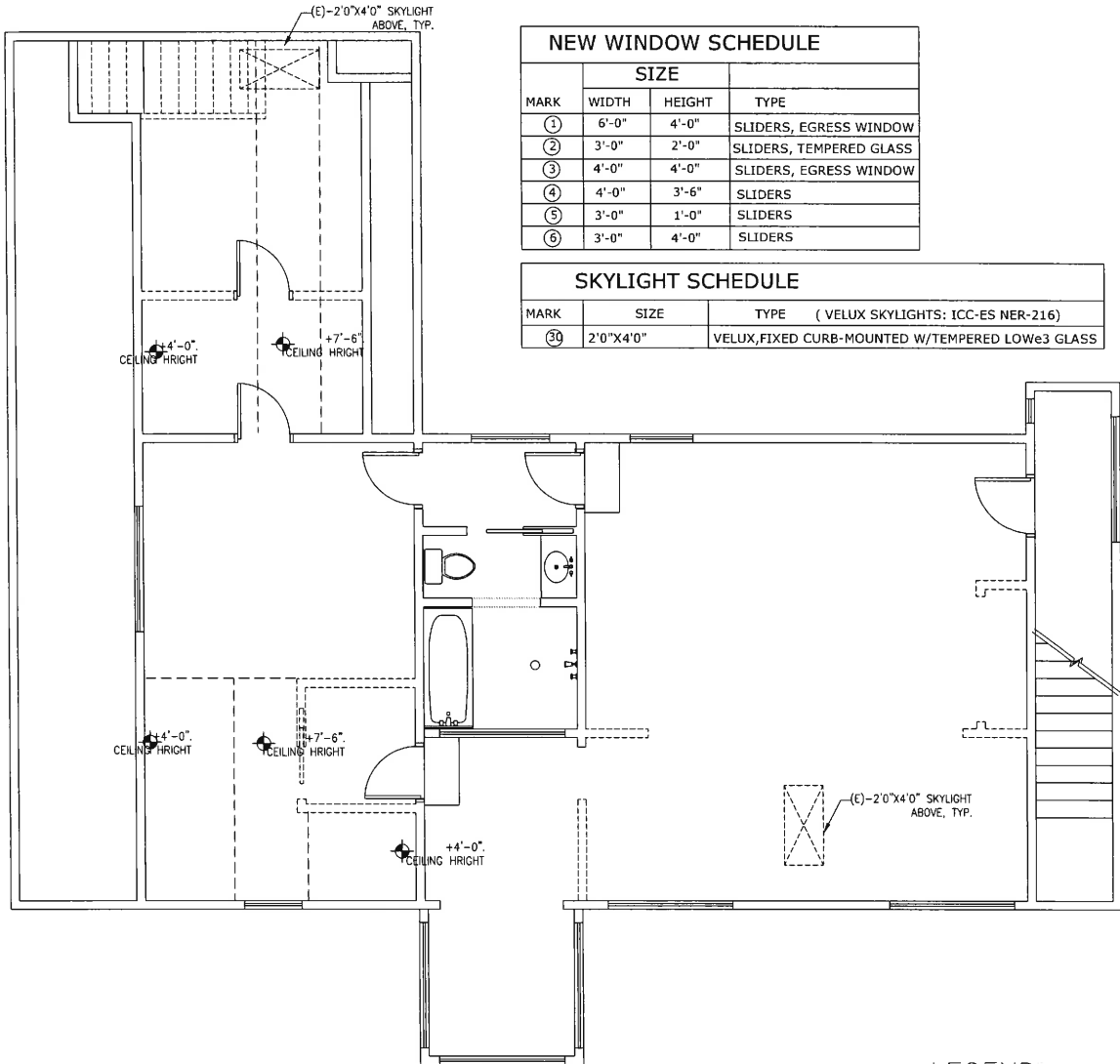
PLANS SUBMITTAL

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FIRST FLOOR PLAN  
& PROPOSED FIRST FLOOR PLAN

SHEET NUMBER

A2.0

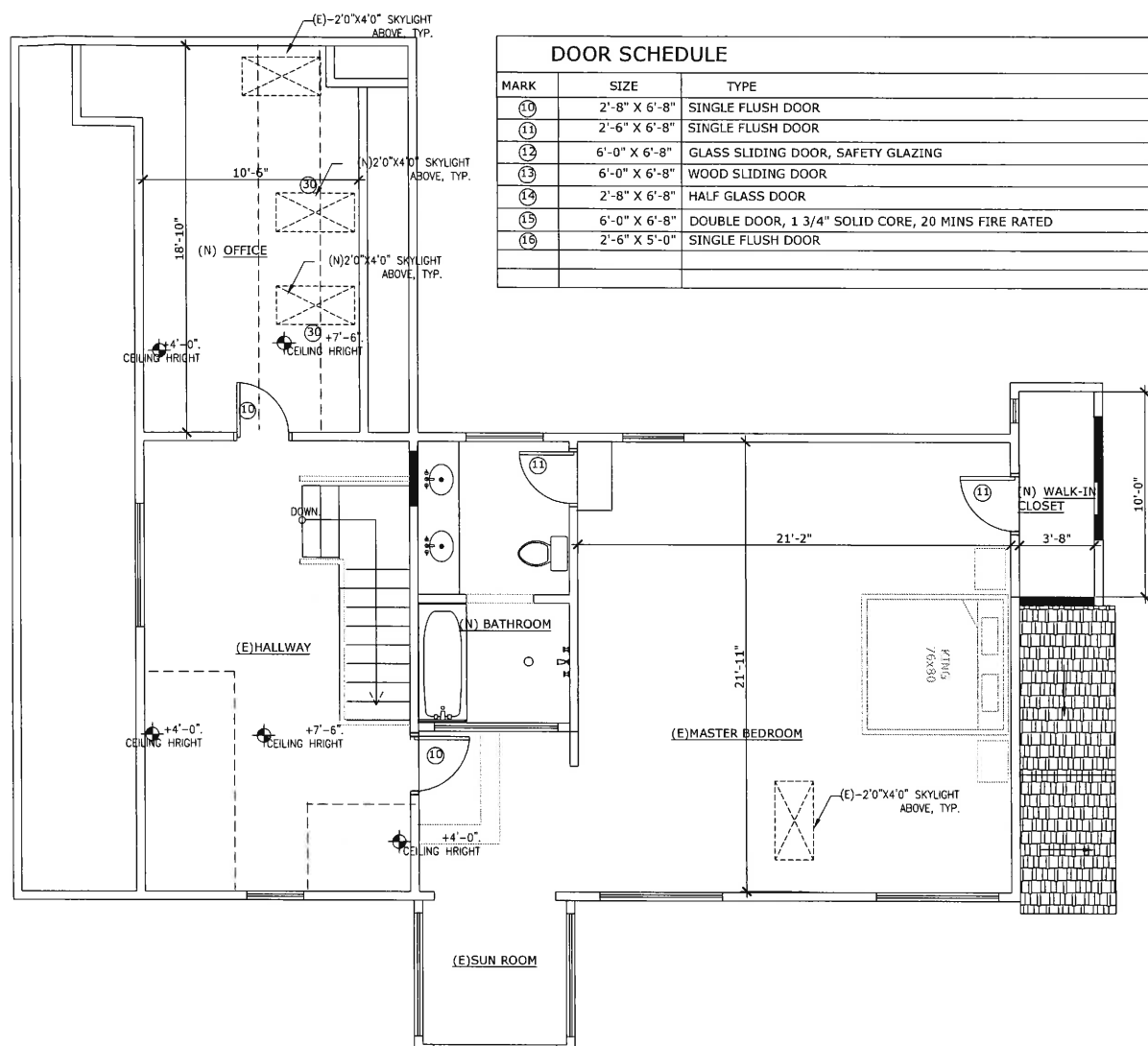


2 EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



LEGEND:

- EXISTING WALL
- PROPOSED STUD WALL ( 2 x 4 @ 16 O.C.)
- DEMO WALL



1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



NEW WINDOW SCHEDULE			
MARK	SIZE		TYPE
	WIDTH	HEIGHT	
①	6'-0"	4'-0"	SLIDERS, EGRESS WINDOW
②	3'-0"	2'-0"	SLIDERS, TEMPERED GLASS
③	4'-0"	4'-0"	SLIDERS, EGRESS WINDOW
④	4'-0"	3'-6"	SLIDERS
⑤	3'-0"	1'-0"	SLIDERS
⑥	3'-0"	4'-0"	SLIDERS

SKYLIGHT SCHEDULE			
MARK	SIZE		TYPE ( VELUX SKYLIGHTS: ICC-ES NER-216)
	WIDTH	HEIGHT	
③	2'0"	4'0"	VELUX, FIXED CURB-MOUNTED W/TEMPERED LOWE3 GLASS

DOOR SCHEDULE		
MARK	SIZE	TYPE
⑩	2'-8" X 6'-8"	SINGLE FLUSH DOOR
⑪	2'-6" X 6'-8"	SINGLE FLUSH DOOR
⑫	6'-0" X 6'-8"	GLASS SLIDING DOOR, SAFETY GLAZING
⑬	6'-0" X 6'-8"	WOOD SLIDING DOOR
⑭	2'-8" X 6'-8"	HALF GLASS DOOR
⑮	6'-0" X 6'-8"	DOUBLE DOOR, 1 3/4" SOLID CORE, 20 MINS FIRE RATED
⑯	2'-6" X 5'-0"	SINGLE FLUSH DOOR

## PLAN NOTES

(NOT ALL OF THESE CODES NECESSARILY APPLY TO THIS PROJECT-SEE SPECIFIC CALLOUTS ON PLANS WHERE EACH APPLIES.

- ① **SAFETY (TEMPERED) GLAZING:** at: (1) hazardous locations-windows adjacent to: tubs, showers, and tub/showers (2) adjacent to and within 24 inches of either edge of doors (3) glazing less than 60" above walking surface at stairways or landings (4) for projects in Oakland, windows within 3' horiz. from tub/shower unless btm of glazing >60" abv. standing surface of tub/shower.
- ② **SHOWER/TUB:**
  - a. showerhead 2.0 gal max
  - a. shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30" diameter circle, and any doors shall swing out of the enclosure have a clear opening of 22" minimum. (cpc 411.6 and 411.7)
  - b. glazing in any portion of the shower, bathtub, or hydro-massage tub enclosure shall be safety glazing (i.e. tempered glass) when the bottom edge of the glazing is less than 50" above the standing surface of the unit. (cbc 2405.3 and cpc 308.4)
  - c. shower stalls and bathtubs with shower heads installed, shall have walls finished with a non-absorbent surface for a minimum of 6' above the floor.
  - d. any new or replaced mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120° f. any new or replaced water-filler valve in bathtubs/whirlpools shall have a temperature limiting device set at a maximum of 120° e. the water heater thermostat cannot be used to meet these provisions. (cpc 414.0 and 418.0)
  - f. hydro-massage tubs (i.e. jacuzzi tubs) shall have motor access, a gfci protected dedicated circuit, and be ul listed. all metal cables, fittings, piping, or other metal surfaces, within 5' of the inside wall of the hydro-massage tub shall be properly bonded. hydro-massage tubs shall be bonded

- ③ **TOILET:** max. 1.28 gal. per flush; min. 30" width clearance; min 24" front clearance; fixture centered min 15" from side; caulk & seal fixture where it meets floor.
- ④ **BATHROOM:**
  - a. all receptacles shall be gfci protected & tamper resistant. new/additional outlets shall have a dedicated 20-amp circuit. (cec 406.11, 210.8, 210.11)
  - b. provide mechanical ventilation system capable of providing 5 air changes/hr-mechanical subcontractor to specify acceptable fan unit for each space; exhaust fans are required in all bathrooms, even if an operable window is installed. exhaust fans and lighting shall have separate control switches (even if a combination unit is installed). the exhaust fan may need to be supplied by a gfci protected circuit based on the manufacturer's requirements. (2016 california energy efficiency standards section 150)
  - c. termination of all environmental air ducts shall be outside of the building minimum of 3 feet from property lines or openings into the building (i.e. dryers, bath and utility fans etc. must be 3 feet away from doors, windows, opening skylights or attic vents) and have a backdraft damper
  - d. lighting fixtures located within 3' horizontally and 8' vertically of the bathtub rim or shower stall threshold shall be listed for a damp location, or listed for wet locations where subject to shower spray. (cec 410.10)
  - f. maximum flow for bathroom faucet to be 1.2 gallon/minute @60psi

- ②③ **ATTIC AND CRAWL SPACE VENTILATION:** vent 1 s.f./150 s.f. of attic or crawl space area. Attic: or 1 s.f./300 s.f. if >50% of venting is located above mid-point of attic
- ②④ **ATTIC ACCESS PANEL:** R807.1: 22"x30" min. panel (size larger to accomodate fau as req'd) located in hallway or other readily accessible location. if FAU in attic, provide 30" min deep platform in front of firebox & lighting outlet switched at access door near furnace.

- ②⑤ **EGRESS WINDOW:** 5.7 sq. ft. min. (5 sq. ft. min. allowable at ground level); 20" wide by 24" high; max. 44" to finished sill' opens directly to public way, yard or court that opens to a public way
- ②⑥ **ARC-FAULT CIRCUIT INTERRUPTER:** at all branch circuits that supply 120 volt, single-phase, 15 and 20 ampere receptacle outlets installed in all dwelling unit rooms except bathrooms, kitchens and garages.
- ②⑦ **SMOKE DETECTORS:** new 110v smoke detectors (with battery backup) which are audible in all sleeping areas & at the following locations: 1. hallways leading to bedrooms; 2. above tops of stairs; 3. at least one every level and any area where ceiling height is more than 24" above hallway ceiling leading to sleeping room. all smoke detectors are to be interconnected per 2016 CBC (activation of one alarm will activate all of the alarms in the individual unit & alarm will be clearly audible in all bedrooms over background noise levels with all intervening doors closed)
- ②⑧ **CARBON MONOXIDE ALARMS:** (Sec.R315) new 110v carbon monoxide alarm (with battery backup) installed outside each area adjacent to a sleeping area; each story of the building; and in any basement
- ②⑨ Per California Civil Code Article 1101.4 and CALGreen Section 301.1, for all building alterations or improvrmnts to a single fsmly residential property, existing plumbing fixtures in the entire house that do not meet current flow rates will need to be updated. Water closets with a flow rate in excess of 1.6 gpf will need to be replaced with water closets with a maximum flow rate of 1.28 gpf. Shower heads with a flow rate greater than 2.5 gpm will need to be replaced with a maximum 2.0 gpm shower head. lavatory and kitchen faucets with a flow rate greater than 2.2 gpf will need to be replaced with a faucet with maximum flow rate of 1.2 gpf.

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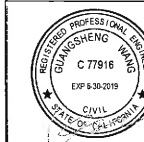
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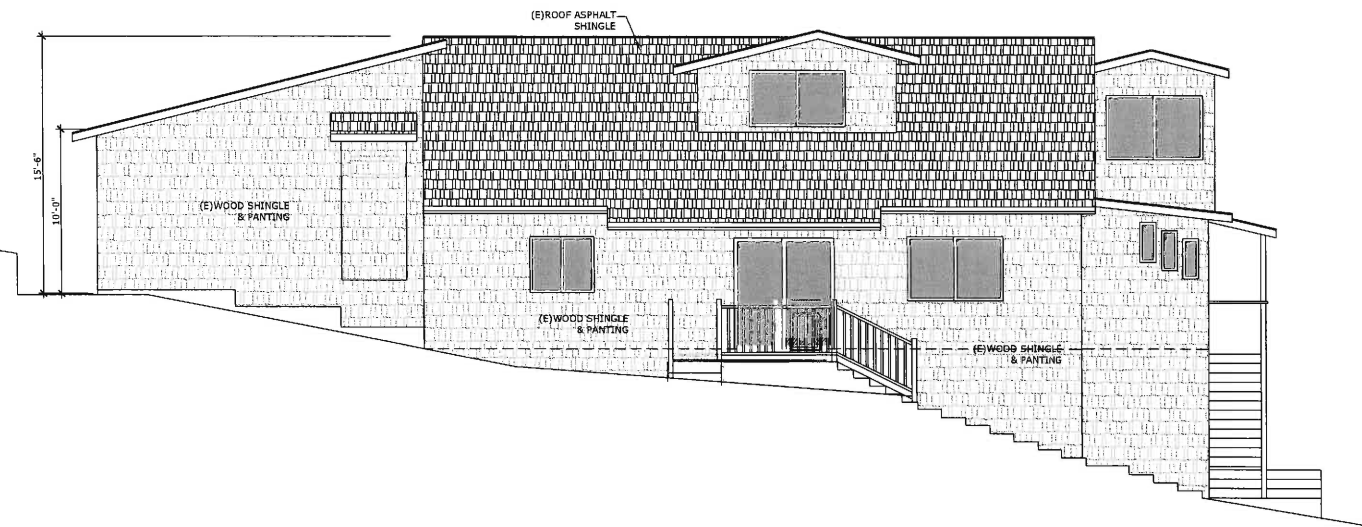
PLANS SUBMITTAL

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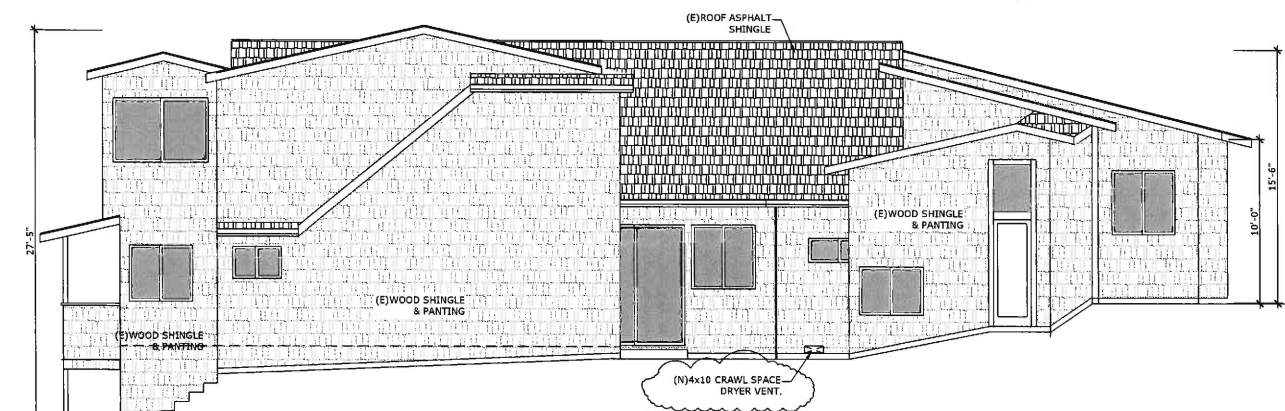
EXISTING SECOND FLOOR PLAN &  
PROPOSED SECOND FLOOR PLAN

SHEET NUMBER

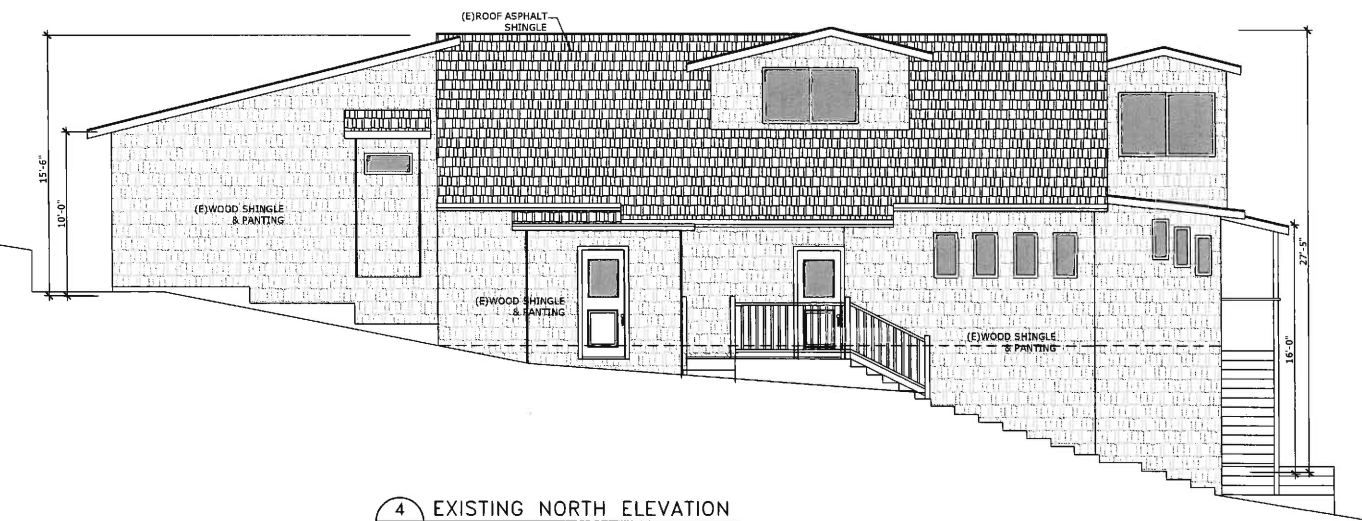
A2.1



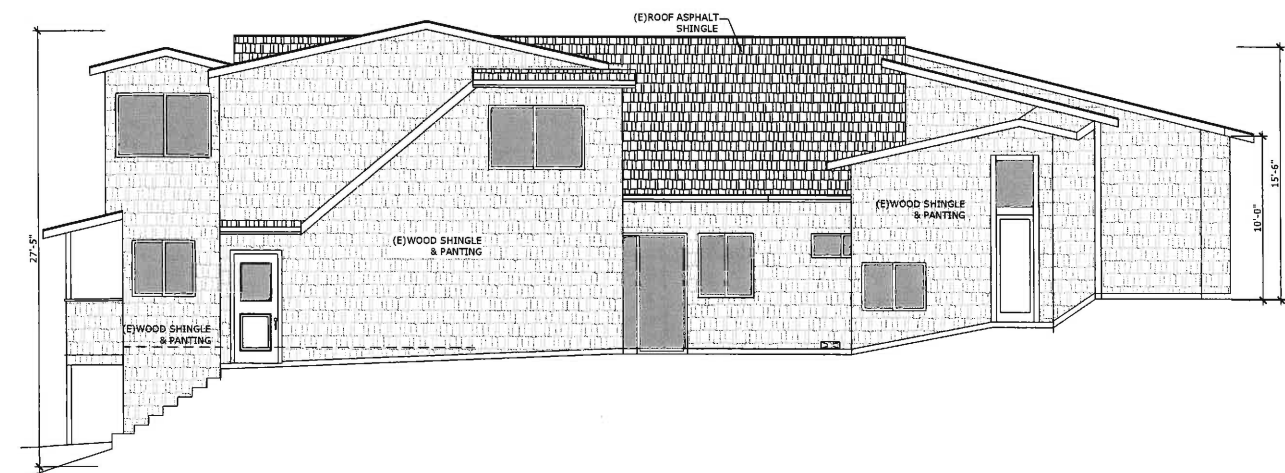
3 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



4 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

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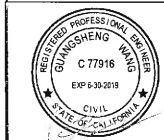
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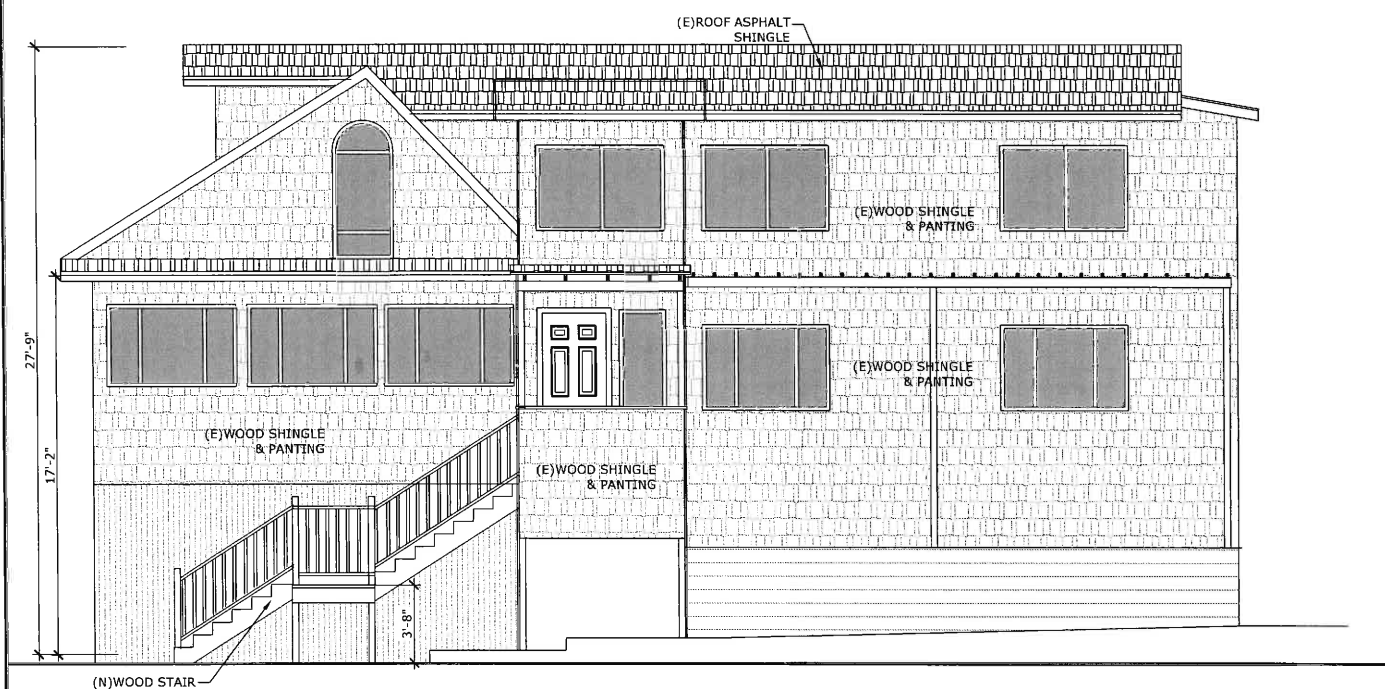
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PROPOSED FRONT & REAR  
ELEVATIONS

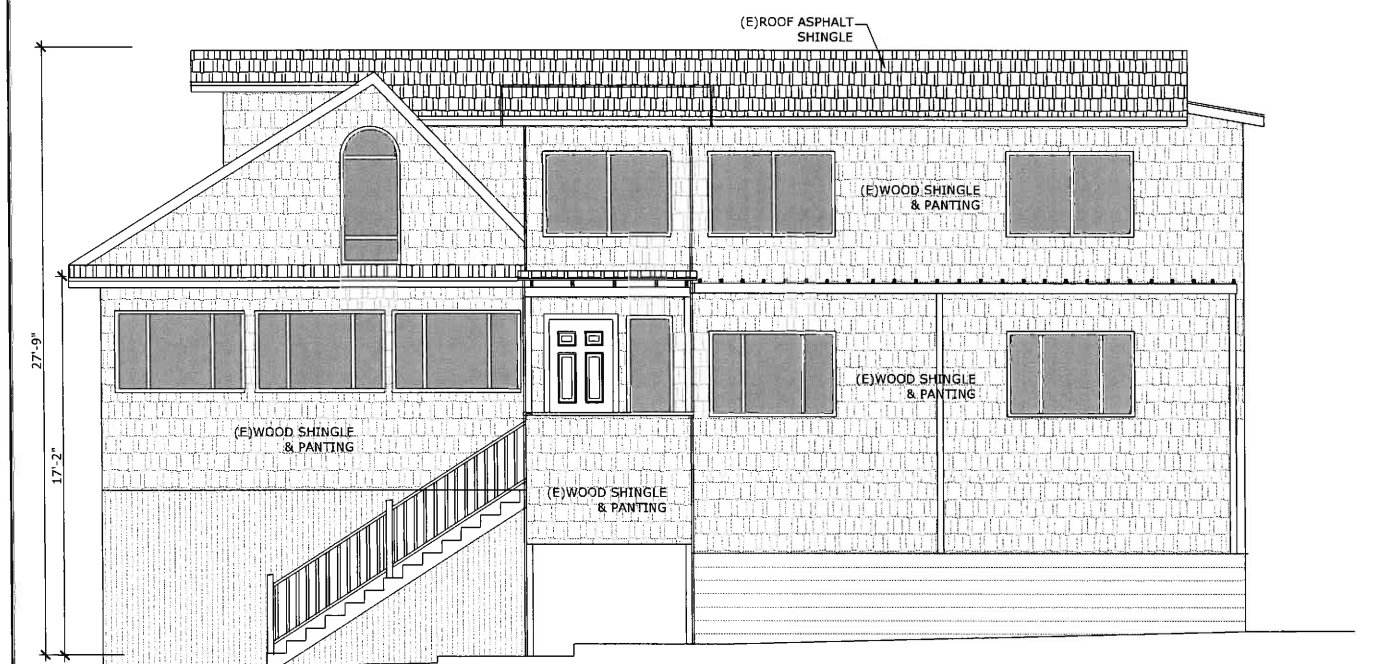
SHEET NUMBER

A3.0

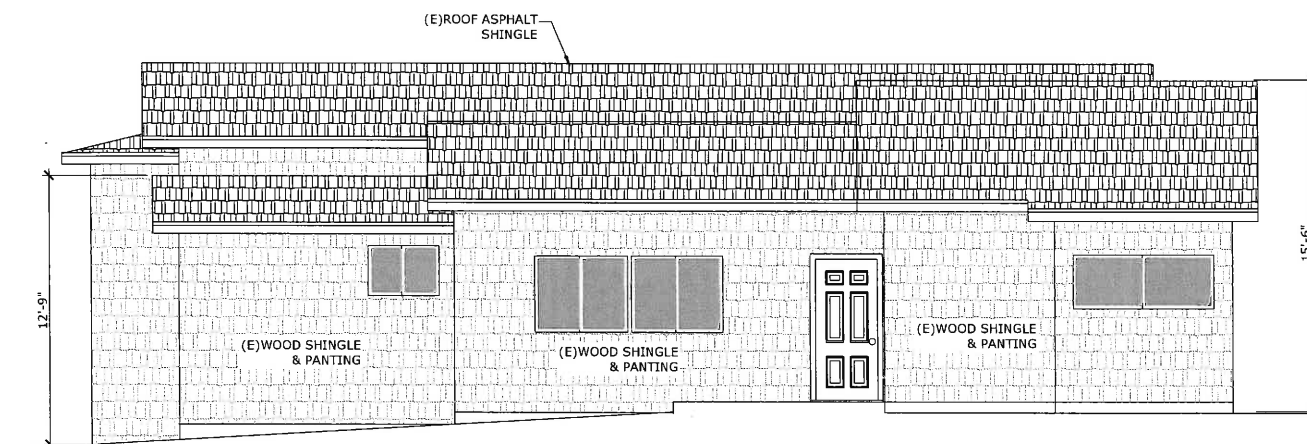




1 PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

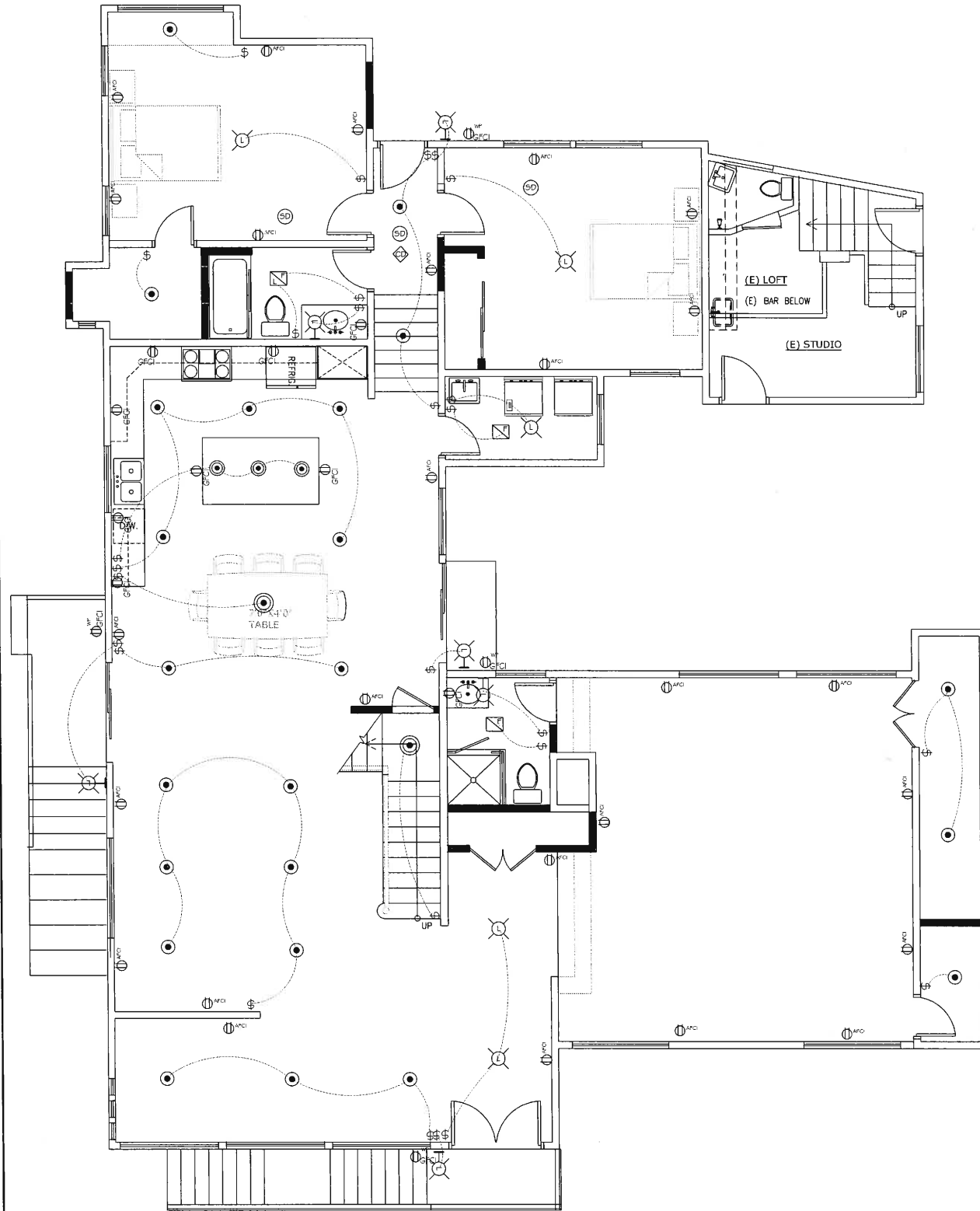


2 EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

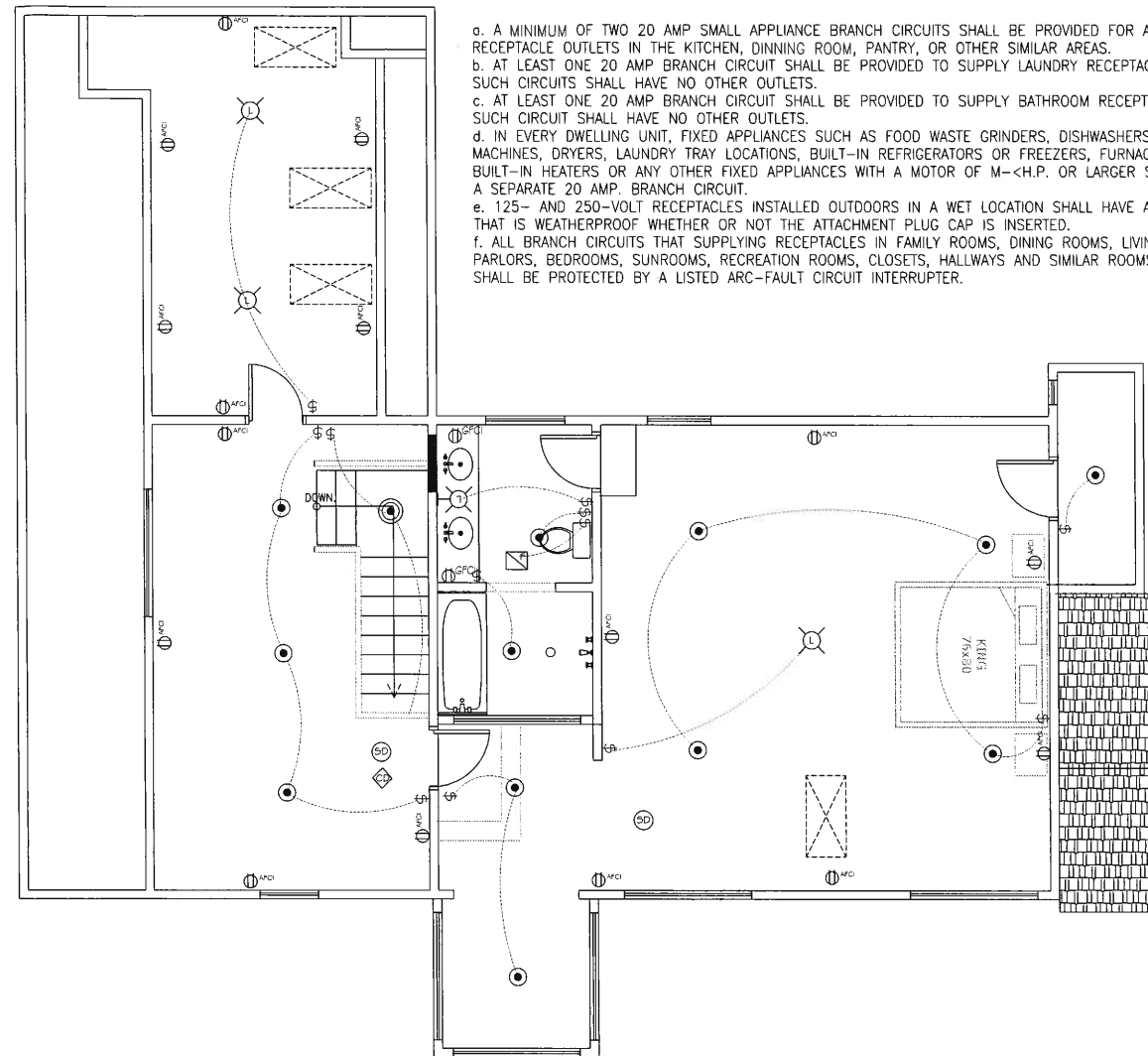


3 EXISTING REAR ELEVATION (NO CHANE)  
SCALE: 1/4" = 1'-0"

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EXISTING/PROPOSED FRONT ELEVATIONS	
SHEET NUMBER	
A3.1	



2 PROPOSED FIRST FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



#### ELECTRICAL LEGEND:

- EXHAUST FAN/LIGHT, HIGH EFFICIENCY LIGHTING
- DUPLEX OUTLET W/ GROUND FAULT INTERRUPTION
- WATER PROOF DUPLEX OUTLET W/ GROUND FAULT INTERRUPTION
- 120 / 240V OUTLET
- (IC RATED, ELECTRONIC BALLAST AND AIR-TIGHT) HIGH EFFICIENCY LIGHT SWITCH
- LIGHT, CEILING MOUNT, HIGH EFFICIENCY LIGHTING
- WIRING
- LIGHT, WALL MOUNT, HIGH EFFICIENCY LIGHTING
- PENDENT LIGHT, HIGH EFFICIENCY LIGHTING

\*KIDDE HARDWARE INTERCONNECTABLE 120-VOLT CARBON MONOXIDE ALARM WITH DIGITAL DISPLAY AND BATTERY BACKUP\* MODEL#KN-COP-IC, UL LISTED PRODUCTS

- a. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINNING ROOM, PANTRY, OR OTHER SIMILAR AREAS.
- b. AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
- c. AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- d. IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCES WITH A MOTOR OF M-<H.P. OR LARGER SHALL BE ON A SEPARATE 20 AMP. BRANCH CIRCUIT.
- e. 125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP IS INSERTED.
- f. ALL BRANCH CIRCUITS THAT SUPPLYING RECEPTACLES IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.

- ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY, BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS(WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY, UTILITY, WET BAR SINKS(WITHIN 6 FEET OF THE EDGE OF THE SINK), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER(GFCI) PROTECTION.
- h. ALL LIGHTING AS HIGH EFFICACY.
- i. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2016-E".
- j. ALL JAB COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS(EXCEPTION CLOSETS LESS THAN 70 SF AND HALLWAY)
  - i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
  - ii. LED LUMINAIRES WITH INTEGRAL SOURCES.
  - iii. PIN-BASED LED LAMPS.
  - iv. GU-24 BASED LED LIGHT SOURCES.
- k. AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
- l. AT LEAST ONE FIXTURE IN THE GARAGE CONTROLLED BY A VACANCY SENSOR.
- m. AT LEAST ONE FIXTURE IN EACH UTILITY ROOM CONTROLLED BY A VACANCY SENSOR.
- n. EXHAUST FANS(EXCLUDES KITCHEN EXHAUST HOOD) SWITCHED SEPARATE FROM LIGHTING(OR UTILIZE A DEVICE WHERE LIGHTING CAN BE TURNED OFF WHILE THE FAN IS RUNNING).
- o. SEPARATE SWITCHING FOR ANY UNDER CABINET LIGHTING(INCLUDING KITCHEN LIGHTING) FROM OTHER LIGHTING SYSTEMS.
- p. ALL OUTDOOR LIGHTING AS HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)3.
  - i. PHOTOCONTROL AND MOTION SENSOR.
  - ii. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
  - iii.ASTRONOMICAL TIME SWITCH CONTROL.
  - iv.ENERGY MANAGEMENT CONTROL SYSTEMS.
- q. ALL 15-AMP AND 20-AMP DWELLING UNIT RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

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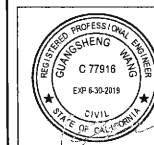
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ELECTRICAL PLANS

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A4.0